

# Community Facilities District No. 2 – Stormwater Facilities Operation & Maintenance

SCVURPPP C.3 Workshop

June 10, 2021



CFD No. 2 – June 10, 2021 SCVURPPP C.3 Workshop

# Background

- C.3 Requires **New** Public Streets to Include Stormwater Treatment Facilities
- Single Family Home Projects with New Public Streets Generally Don't Have an HOA to Manage the Treatment for their On-site Run-off, or a Mechanism to Maintain the Required Off-site Treatment Facilities
- It is Best to Avoid Having Homeowners Directly Responsible for Managing Stormwater Treatment Facilities
- A Community Facilities District (CFD) Can Provide a Mechanism to Fund City Maintenance of these Facilities



# CFD No. 2 - Overview

- CFD No. 2 Created in 2013 in Response to Proposed Nine (9) Unit Single Family Subdivision with new Public Street (DR Horton - Laurance Hill Court)
  - New Public Street Required Treatment
  - Run-off from New Single Family Homes Required Treatment
  - No HOA proposed or necessarily required
  - Site Designed with **Joint Treatment** Areas to be maintained by the City Using Special Taxes Collected from the New Home Owners





# CFD No. 2 - Formation

- CFD No. 2 Created as a Mello-Roos Special Tax District
- Purpose to Operate and Maintain Stormwater Treatment Facilities in *Perpetuity*
- Requires Vote of Existing Property Owners – A Unanimous Vote Speeds Up the Process
- Provides Special Tax Funding by the Benefiting Home Owners to the City for Maintenance of the Project Specific Stormwater Treatment Facilities



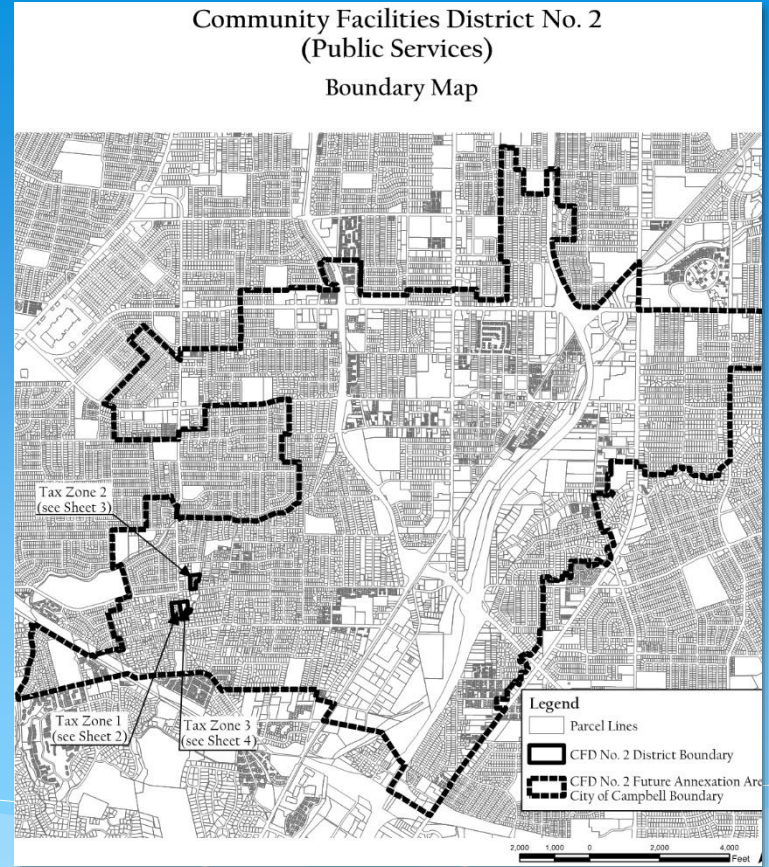
# CFD No. 2 - Annexations

- Excellent Foresight Included the Provision to Designate the Remainder of the City as a Potential Future Annexation Area
  - In 2015 the Jasmine Court Subdivision was Annexed
  - In 2017 the Meadows Court Subdivision was Annexed

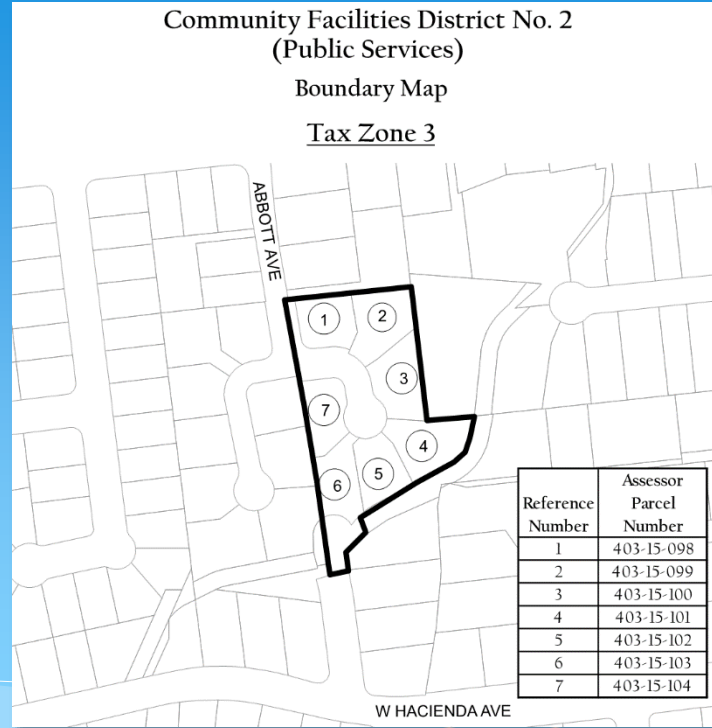
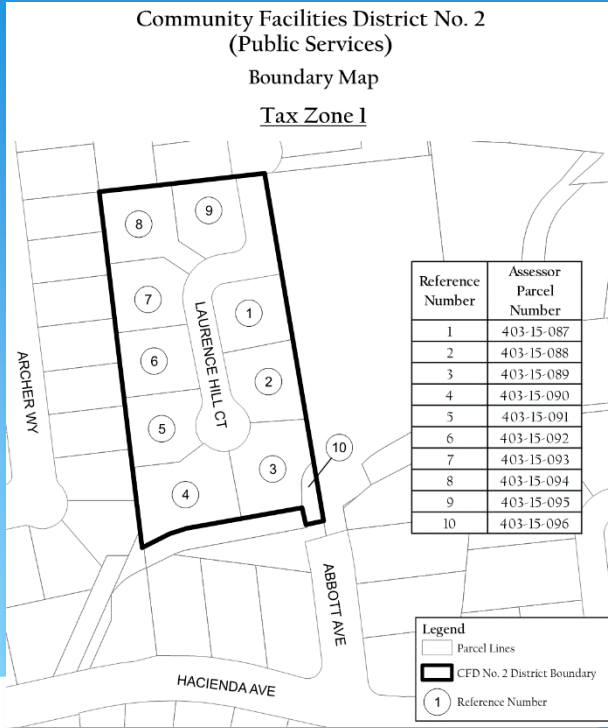


# CFD No. 2 - Map

- Entire City is identified as Future Annexation Area



# CFD No. 2 - Map



# CFD No. 2 – Pictures (Laurance Hill / Meadows Courts)



# CFD No. 2 – Pictures (Laurance Hill / Meadows Courts)



# CFD No. 2 – Pictures (Abbott Pervious Concrete)



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# CFD No. 2 – Pictures (Jasmine Court)



# CFD No. 2 – Summary

- Maintenance Funded in Perpetuity
- Current Facilities Treat Public and Private Run-off
- CFD Set Up to Allow Future Annexations as needed
- Potential Future Opportunities to Fund Maintenance of Alternative Compliance and GSI Frontage Improvements



# QUESTIONS

Roger Storz, PE  
Senior Civil Engineer  
Public Works Department



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